

LAKWOOD INDUSTRIAL COMMISSION

Regular Business Meeting

June 14, 2017

Time and Place: 11:30AM Conference Room C (Second Floor)
Lakewood Municipal Building, 231 Third Street, Lakewood, NJ 08701

Adequate notice of this meeting was provided in accordance with the Senator Byron M. Baer Open Public Meetings Act, L.1975, c.231,s.1; amended 2006, c.70, s.2.

1. **FLAG SALUTE:**
 - Flag Salute / Moment of Silence
2. **ROLL CALL:**
 - Presiding:
3. **MINUTES:**
 - April 5, 2017
4. **FINANCE:**
 - STATEMENT OF ACCOUNTS:**
 - June 14, 2017
 - BILL LIST:**
 - June 14, 2017
 - BUDGET TO ACTUAL REPORT:**
 - June 14, 2017
5. **COMMENTS FROM THE PUBLIC:**
6. **EXECUTIVE DIRECTOR'S REPORT:**
 - **Steven Reinman, Executive Director**
 - **UPDATE:** Lakewood Airport T-Hangar Construction
 - Request for granting of **Utility Easement** across a portion of Lot 1 in Block 961 to service a new office building on Lot 2.01.
 - **UPDATE** regarding **Industrial Park (M-1, PS, LP) Zoning** / reclassification / permitted uses updates; SAFE Zone
7. **ATTORNEY'S REPORT:**
 - **Sean T. Kean, Esq**
8. **CORRESPONDENCE:**
 - Addressed under Executive Director's Report
9. **COMMITTEE REPORTS:**
 - COMMITTEES**
 - Site Review Committee**, Justin Flancbaum, Chairman
 - Finance Committee**, Shlomo Katz, Chairman
 - Client Review Committee**, Greg Stafford-Smith, Chairman
 - Park Control/Signs/Advertising/Promotion**, Neil Brooks, Chairman
 - Airport Mgmt/Development Committee**, Greg Stafford-Smith, Chairman
 - Contract Review Committee**, Justin Flancbaum, Chairman
10. **MARKETING AND PUBLIC RELATIONS:**
 - Report by Frances A. Kirschner / Frantasy Enterprises
11. **OLD BUSINESS:**
12. **NEW BUSINESS:**
 - Request from Avenue of the States LLC for a dedicated easement (20' wide X 110.15' long) from Block 961, Lot 1 to Block 961, Lot 2.03 for installation of sanitary sewer to service the new office building on Block 961, Lot 2.03. (Xref SP # 2128) under construction.
13. **CLOSED SESSION:**
 - Contract Negotiations + Litigation
14. **CONSENT AGENDA RESOLUTIONS:**
 - None anticipated

15. RESOLUTIONS (Non Consent): **170601** Resolution granting a dedicated utility easement of 2,220 SF across a portion of Lot 961, Lot 1 for installation of sanitary sewer to service a new office building located on Avenue of the States.
16. COMMENTS FROM THE COMMISSIONERS:
17. ADJOURNMENT:

Next meeting of the LIC: July 12, 2017 at 11:30 AM

LAKKEWOOD INDUSTRIAL COMMISSION
Statement of Accounts
June 14, 2017

Draft		
Checking Account (Investors # 729905880) Interest Rate 4/31/17 APYE		
.76% Interest Bearing		\$ 2,333,760.57
Balance Forward:	\$ 3,346,439.75	1/1/2017
Land Lease Block 1609, Lot 21 (Land Lease AT&T cell tower)	\$ 529.00	1/4/2017
Lease payment - ABC / BlueClaws Stadium January 1, 2017	\$ 44,198.56	1/10/2017
Approved Bill List of 1/11/17 (adjustment check# 3243)	\$ (223,315.85)	1/11/2017
Bank Interest Earned through 1/31/17	\$ 1,332.99	1/31/2017
Lease payment - AT&T Land Lease - cell tower February 2017	\$ 529.00	2/6/2017
Approved Bill List of 2/8/17 (adjusted check#3251)	\$ (62,080.21)	2/8/2017
Bank Interest Earned through 2/28/17	\$ 1,227.94	2/28/2017
Lease payment - AT&T Land Lease - cell tower March 2017	\$ 529.00	3/7/2017
Approved Bill List of 3/8/17 final	\$ (60,511.10)	3/8/2017
Bank Interest Earned through 3/31/17	\$ 1,355.32	3/31/2017
Block 1609 PO Lot 21(Land Lease AT&T cell tower) - April 2017	\$ 529.00	4/1/2017
American Baseball Company - Lease Payment 4/1/17	\$ 44,198.56	4/1/2017
Approved Bill List for 4/5/17	\$ (4,160.10)	4/5/2017
Bank Interest Earned April 2017	\$ 1,939.90	4/30/2017
May Meeting was Canceled		
Block 1609 PO Lot 21(Land Lease AT&T cell tower) - May, 2017	\$ 529.00	5/24/2017
Land Lease Block 1606, Lot 9	\$ 10,000.00	5/24/2017
Refund - Arrow Locksmith (keying systems) Office Reconfigure	\$ 907.55	5/24/2017
Bank Interest Earned May 2017	\$ 1,972.61	5/31/2017
May Bills (released 5/10/17)	\$ (92,315.84)	5/10/2017
Proposed June Bills (estimated)	\$ (680,074.51)	6/14/2017
Total InvestorsBank Checking Account	\$ 2,333,760.57	
REAL ESTATE - ATTORNEY TRUST Acct. -		
Held by Cleary Giacobbe Alfieri Jacobs LLC		
LIC to Shvarzblat / Cedarbridge Properties (Construction Escrow Held)	\$ 65,000.00	12/15/2016
TOTAL Held: Attorney Real Estate Trust Acct:	\$ 65,000.00	
TOTAL OF ALL ACCOUNT BALANCES:		2,398,760.57
Anita B. Doyle, Administrative Manager		6/14/2017

Lakewood Industrial Commission

Bill List

June 14, 2017

Num	Name	Memo	Original Amount	
3288	Cleary Giacobbe Alfieri & Jacobs	Inv#50121 / 50727 Legal Services	\$ 966.00	*
3289	Anita B. Doyle	Inv#17005 Administration Management Services April 2017	\$ 1,032.50	*
3290	Anita Doyle as Agent of LIC	Replenishment of Petty Cash On Hand	\$ 157.53	*
3291	MOCEAN HOLLOW METAL & HARC	Inv#27181 - Office Reconfiguration - Doors	\$ 2,279.00	*
3292	Watchung Spring Water Co., Inc.	Meeting Supplies	\$ 77.93	*
3293	Iorio Construction Company	Progress Payment #12 - Lakewood Airport T Hangars Design /Build	\$ 85,402.88	*
3294	Israel Reinman	Executive Director's Car Allowance - May 2017	\$ 400.00	*
3295	Frantasy Enterprises, LLC	Marketing and Public Relations Services for the month of May 2017	\$ 2,000.00	*
May Checks Released:			\$ 92,315.84	
3296	Cleary Giacobbe Alfieri & Jacobs	Inv# 51464/see 51463 also - Lakewood Industrial Commission	\$ 56.00	
3297	Duvy's Media LLC	Inv#s 19073 + 19305	\$ 860.34	
3298	MODC	Meeting Registrations	\$ 80.00	
3299	Frantasy Enterprises, LLC	June 2017- Marketing and Public Relations Services to Lakewood Township and the Lakewood Industr...	\$ 2,000.00	
3300	Constant Contact	Inv# JMAC9SQAB15817 July 2017-June 2018 - Lakewood Industrial Commission	\$ 405.00	
3301	Anita B. Doyle	Administration Management Services provided to the Lakewood Industrial Commission for the period...	\$ 910.00	
3302	Israel Reinman	Executive Director's Car Allowance - June 2017	\$ 400.00	
3303	Watchung Spring Water Co., Inc.	Inv# 7833834 Acct#217214 Supplies	\$ 80.93	
3304	Church & Dwight Co. Inc.	Settlement P/O BloCK 1160, Lot 269 Acq.(ref Lakewood Airport RWE6)	\$ 53,000.00	
3305	Iorio Construction Company	Progress Payment # 13 Lakewood Airport Hangars	\$ 89,033.00	
3306	Iorio Construction Company	Progress Payment # 14 Lakewood airport Hangars	\$ 533,049.24	
3307	Yussi's	Lakewood Industrial Commission Meeting Expenses (estimated)	\$ 200.00	
June Bill List Total			\$ 680,074.51	
Total Bill List (May & June 2017)			\$ 772,390.35	

* Checks were released in May

Lakewood Industrial Commission
Budget vs. Actual
January through June 14, 2017

	Approved Budget (+ updates)	Expenditures Jan - Dec 17	Balance Remaining
Ordinary Income/Expense			
Expense			
OPS - OPERATIONS			
3.1 - Professional Services			
6353 - Engineering Services	10,000.00	0.00	10,000.00
6354 - Auditor / Accounting	3,000.00	0.00	3,000.00
6350 - Marketing & Pub Rel Adm			
3.1.3.1 - M&PR Management Contract			
63501 - Program Management M&PR	24,000.00	12,000.00	12,000.00
63502 - Website Mntnc LkwdTwp+LIC	10,000.00	1,916.59	8,083.41
Total 3.1.3.1 - M&PR Management Contract	34,000.00	13,916.59	20,083.41
Total 6350 - Marketing & Pub Rel Adm	34,000.00	13,916.59	20,083.41
6352 - Appraisal Services	5,000.00	0.00	5,000.00
6351 - Legal Services	20,000.00	4,474.20	15,525.80
Total 3.1 - Professional Services	72,000.00	18,390.79	53,609.21
4. - ADMINISTRATIVE EXPENSES			
6355 - Automobile Allowance	4,800.00	2,400.00	2,400.00
7601 - Cell Phone	1,200.00	0.00	1,200.00
6251 - Petty Cash	900.00	475.59	424.41
71011 - Legal Ads	750.00	305.00	445.00
71014 - Marketing-ConstantContact	750.00	405.00	345.00
71015 - LIC Exclusive Web Page	2,000.00	0.00	2,000.00
6012 - Special Events & Awards	1,500.00	0.00	1,500.00
7110 - Office Equipment	2,000.00	0.00	2,000.00
6013 - Association Memberships			
60132 - Monmouth/Ocean Development Cncl	260.00	260.00	0.00
60131 - Lkwd Chamber of Commerce	400.00	0.00	400.00
Total 6013 - Association Memberships	660.00	260.00	400.00
71013 - Meeting Registrations	250.00	120.00	130.00
7650 - Travel & Expenses	3,000.00	0.00	3,000.00
7602 - Exec Dir Business Developmt	1,000.00	0.00	1,000.00
7125 - Unclassified Admin Expenses			
7120 - Reorganization Meeting Exp	600.00	231.88	368.12
71012 - Admin Expenses - Other	3,600.00	1,051.14	2,548.86
Total 7125 - Unclassified Admin Expenses	4,200.00	1,283.02	2,916.98
7111 - 2017 OFFICE RECONFIGURATION		12,123.93	-12,123.93
Total 4. - ADMINISTRATIVE EXPENSES	23,010.00	17,372.54	5,637.46

Lakewood Industrial Commission

Budget vs. Actual

January through June 14, 2017

	Approved Budget (+ updates)	Expenditures Jan - Dec 17	Balance Remaining
Total OPS · OPERATIONS	95,010.00	35,763.33	59,246.67
7760 · Independent Contractor 1099			
77601 · Administration Management	14,700.00	6,650.00	8,050.00
77602 · Data Update Project	2,000.00	0.00	2,000.00
Total 7760 · Independent Contractor 1099	16,700.00	6,650.00	10,050.00
5. · LIC Projects			
ARPRT · AIRPORT			
RWE6ACQ · UNANTICIPATED EXPENSE		53,000.00	-53,000.00
ARPRT1 · Lkwd Airport T-Hangars			
ENGINEER · Airport Hngrs design/build/bid	15,000.00	0.00	15,000.00
CONTR · Iorio Contract updated 6/14/17	2,152,210.42	1,003,616.11	1,148,594.31
2017 Budget Added On for Authorized Change Orders (#):			
#1	171,441.00		
#2	added to 2016 budget		
#3	added to 2016 budget		
#4	added to 2016 budget		
#5b	160,909.80		
#6	3,421.44		
#8	8,146.80		
#009R	5,565.24		
#10R	631.80		
UTIL · UTILITIES - NEW Install	200,000.00	22,320.62	177,679.38
Total ARPRT1 · Lkwd Airport T-Hangars	2,367,210.42	1,025,936.73	1,341,273.69
Total ARPRT · AIRPORT	2,367,210.42	1,078,936.73	1,288,273.69
SIGNAGE · Ind Pk Signage Project	25,000.00	0.00	25,000.00
Total 5. · LIC Projects	2,392,210.42	1,078,936.73	1,313,273.69
Total Expense	2,503,920.42	1,121,350.06	1,382,570.36

RESOLUTION

WHEREAS, Section 7 b. of the Senator Byron M. Baer Open Public Meetings Act." L.1975, c.231, s.1; amended 2006, c.70, s.2., permits the exclusion of the public from a meeting under circumstances; and

WHEREAS, this Industrial Commission of the Township of Lakewood is of the opinion that such circumstances presently exist.

NOW, THEREFORE, BE IT RESOLVED by the Industrial Commission of the Township of Lakewood in the County of Ocean as follows:

1. The public shall be excluded from discussion of private and confidential matters involving any of the nine (9) exclusions as set forth in Section 7(b) of said law and as hereinafter specified.
2. The general nature of the subject matter to be discussed is as follows:

CONTRACT NEGOTIATIONS	<input checked="" type="checkbox"/>
PERSONNEL	<input type="checkbox"/>
LITIGATION	<input checked="" type="checkbox"/>
OTHER	<input type="checkbox"/>
3. It is anticipated at this time that the above stated subject matter will be made public only when the reasons for discussing and acting on them in closed session no longer exists; said determination to be made by further resolution adopted by the Industrial Commission.
4. This resolution shall take effect immediately.

I hereby certify that the above is a true copy of a resolution duly adopted by the Industrial Commission of the Township of Lakewood in the County of Ocean, State of New Jersey, at its meeting held on the 14th day of June, 2017.

GREGORY B. STAFFORD-SMITH, Secretary
or Steven Reinman as Secretary's-Designee

PDS

PROFESSIONAL DESIGN SERVICES, L.L.C.

1245 AIRPORT ROAD • SUITE 1 • LAKEWOOD • NEW JERSEY 08701 • 732-363-0060 • FAX 732-363-0073
ENGINEERING@PDS-NJ.COM

IAN M. BORDEN, P.P., A.I.C.P., C.F.
PRESIDENT
SEAN D. COUGHLAN
ASSOCIATE

WILLIAM A. STEVENS, P.E., P.P.
VICE PRESIDENT
GRAHAM J. MACFARLANE, P.E., P.P., C.M.E.
ASSOCIATE

June 6, 2017

Mr. Steve Reinmann
Executive Director
Lakewood Industrial Commission
Lakewood Township Municipal Building
231 Third Street
Lakewood, NJ 08701

Re: Preliminary and Final Major Site Plan
Proposed Utility Easement
Block 961, Lot 2.03 (formerly part of lot 2.01)
Lakewood Township, Ocean County
PDS Ref. #15217
SP # 2128

Dear Steve:

Transmitted herewith please find the following documents:

- Two (2) prints of Utility Plan of Block 961, Lot 2.03
- Two (2) prints of Cover Sheet from Approved Site Plan
- Two (2) copies of Color Aerial Map

The above documents are submitted to show a proposed Utility Easement to be dedicated to Block 961, Lot 2.01 from Block 961, Lot 1. The easement will allow installation of a sanitary sewer easement to service the new office building currently under construction.

If you should have any questions or require additional information, please do not hesitate to contact this office.

Very truly yours,

Graham J. Macfarlane

Graham J. Macfarlane, P.E., P.P., C.M.E.
Professional Design Services, L.L.C.

Enclosures

cc: Sandy Shur- via email
Nechama Morgan –via email
Meshulem Rosenblum- via email



To Cedar Bridge Avenue

AVENUE OF THE STATES



TAX LOT 201

TAX LOT 203
TAX BLOCK 961

LOT 1

STADIUM WAY (PRIVATE ROAD)

LOT 1

20 FT. WIDE UTILITY EASEMENT
DEDICATED TO LOT 203
2,220 SQ. FT. - 0.051 ACRES

BlueClaws Stadium

AERIAL DISPLAY MAP

FOR

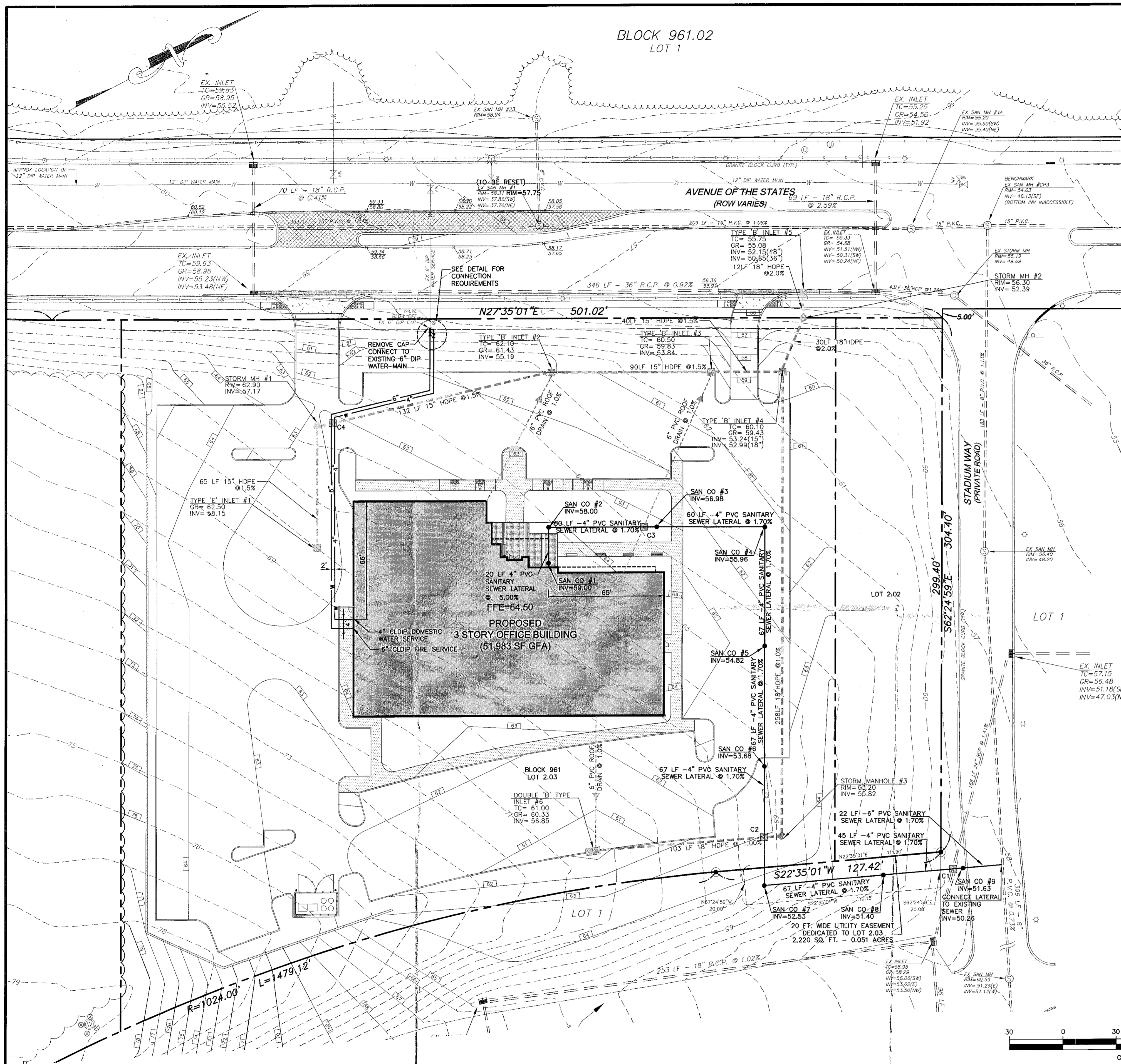
BLOCK 961 - LOT 2.03

TOWNSHIP OF LAKEWOOD OCEAN COUNTY NEW JERSEY
1" = 60' - DATE OF AERIAL MARCH 20, 2017

PROFESSIONAL DESIGN SERVICES, L.L.C.

CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS,
ENVIRONMENTAL SCIENTISTS, CONSTRUCTION SERVICES
1245 AIRPORT ROAD, SUITE 1, LAKEWOOD, NEW JERSEY 08701
PHONE 732 363 0060 FAX 732 363 0073
ENGINEERING • PDS-NJ.COM WWW.PDS-NJ.COM

BLOCK 961.02
LOT 1



OWNERSHIP NOTES

- LAKEWOOD TOWNSHIP MUNICIPAL UTILITIES AUTHORITY (LTMUA) SHALL OWN AND MAINTAIN WATER SERVICE FROM MAIN CONNECTION TO THE SERVICE SIDE OF THE GATE VALVE OF BOTH THE DOMESTIC WATER SERVICE (4") AND FIRE SERVICE (6") LINES. PROPERTY OWNER SHALL OWN AND MAINTAIN THE DOMESTIC WATER SERVICE & FIRE SERVICE FROM THE BUILDING TO THE GATE VALVES.
- LTMUA SHALL OWN AND MAINTAIN SEWER LATERAL FROM MAIN CONNECTION TO AND INCLUDING SAN CO #9. PROPERTY OWNER SHALL OWN AND MAINTAIN THE SEWER LATERAL FROM THE BUILDING TO SAN CO #9.

VERTICAL DATUM

TOPOGRAPHY SHOWN HEREON IS IN GEODETIC DATUM (NAVD 1988), WHICH HAS BEEN DERIVED UTILIZING GPS OBSERVATIONS AND PROCESSED WITH OPUS OF THE NATIONAL GEODETIC SURVEY.

HORIZONTAL DATUM

HORIZONTAL DATUM SHOWN HEREON ARE IN GEODETIC DATUM (NAVD 1983).

BENCHMARK NOTE

BENCHMARK IS EXISTING SANITARY MANHOLE #CP3, RIM ELEVATION = 54.63, LOCATED IN THE ROADWAY INTERSECTION OF AVENUE OF THE STATES WITH STADIUM WAY, AT THE NORTH END OF THE PROPERTY.

UTILITY CROSSING TABLE

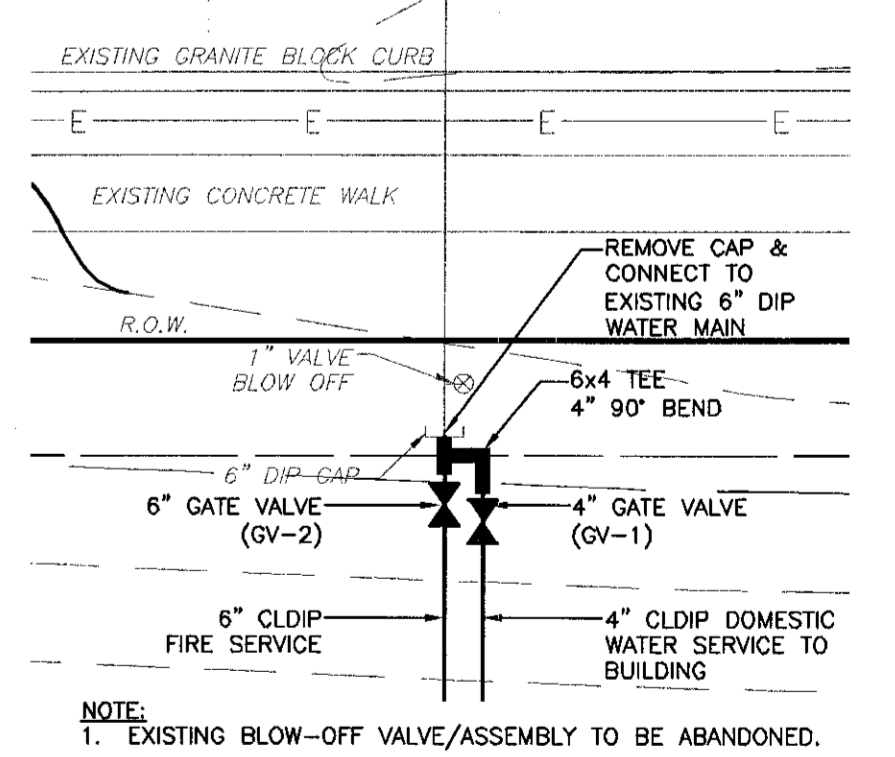
CROSSING NUMBER	STORM SEWER	SEWER LATERAL	WATER SERVICE	CLEARANCE BETWEEN	CRADLE REQUIRED
C1	54.94 TOP 52.94 INV	51.05 TOP 50.72 INV		1.89 FT	NO
C2	57.42 TOP 55.92 INV	53.38 TOP 53.05 INV		2.54 FT	NO
C3	55.95 TOP 55.45 INV	57.41 TOP 57.08 INV		1.13 FT	YES
C4	58.45 TOP 57.20 INV		55.50 TOP 55.00 INV	1.70 FT	NO

LEGEND

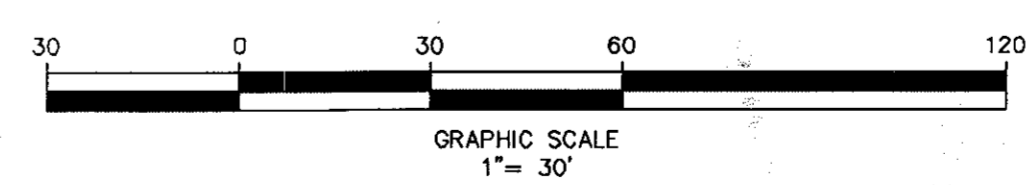
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING WATER LINE
- EXISTING WATER CURB STOP
- EXISTING HYDRANT
- EXISTING WATER VALVE
- PROPOSED SANITARY LINE
- PROPOSED SANITARY FORCE MAIN
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED WATER LINE
- PROPOSED WATER VALVE
- PROPOSED CONCRETE CRADLE
- EXISTING STORM LINE
- PROPOSED STORM LINE
- PROPOSED ROOF DRAIN
- EXISTING STORM INLET
- PROPOSED STORM INLET
- EXISTING STORM MANHOLE
- PROPOSED STORM MANHOLE

GENERAL UTILITY NOTES

- THRUST BLOCKS ARE TO BE PROVIDED AT ALL WATER MAINS, BENDS, FITTINGS AND REDUCERS.
- ALL SANITARY LATERALS SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS INDICATED OTHERWISE.
- AT THE SANITARY LATERAL WYE OR TEE-WYE, MATCH THE CROWN OF THE SEWER MAINS AND THE LATERAL.
- PROVIDE TEN FOOT (10') MINIMUM HORIZONTAL SEPARATION BETWEEN SEWER MAINS AND WATER MAINS. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE SEPARATION IS NOT MAINTAINED BETWEEN THE WATER AND SEWER MAINS OR THE SEWER MAIN IS ABOVE THE WATER MAIN, INSTALL THE SEWER WITH DUCTILE IRON PIPE WITH WATER TIGHT JOINTS THAT AREA A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE WATER MAIN.
- UTILITY CROSSING REQUIREMENTS:
 - IF A SEWER MAIN CROSSES LESS THAN 18 INCHES ABOVE THE WATER MAIN, SUPPORT THE SEWER MAIN WITH A CONCRETE CRADLE.
 - IF A WATER MAIN CROSSES LESS THAN 18 INCHES ABOVE THE SEWER MAIN, SUPPORT THE WATER MAIN WITH A CONCRETE CRADLE.
 - IF OTHER PIPING OR UTILITIES CROSS LESS THAN 18 INCHES ABOVE THE SEWER, SUPPORT THE TOP PIPING OR UTILITIES WITH CONCRETE CRADLES.
 - IF OTHER PIPING OR UTILITIES CROSS LESS THAN 18 INCHES ABOVE THE WATER, SUPPORT THE TOP PIPING OR UTILITIES WITH CONCRETE CRADLES.
 - IF A WATER OR SEWER MAIN CROSSES LESS THAN 18 INCHES ABOVE OTHER PIPING OR UTILITIES SUPPORT THE WATER OR SEWER MAIN WITH A CONCRETE CRADLE.
- PROVIDE 4'-0" MINIMUM OVER SEWER MAINS. PROVIDE 3'-0" MINIMUM OVER SEWER LATERALS.
- ALL SANITARY SEWER MAINS SHALL BE PVC SDR-35, UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER LATERALS ARE TO BE PVC PIPE, SCHEDULE 40.
- ALL WATER MAINS SHALL BE CLDIP CLASS 52 WITH PUSH-ON JOINT SINGLE GASKET OR MECHANICAL JOINT SINGLE GASKET CONFORMING TO THE REQUIREMENTS OF AWWA C111.
- ALL WATER SERVICES AND PLUMBING SHALL CONFORM WITH THE PLUMBING SUBCODE NJAC 5:23-3.15.
- ALL WATER VALVES SHALL BE RESILIENT WEDGE TYPE IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION STANDARD SPECIFICATION C-509.
- ALL DEAD END WATER MAINS SHALL BE TERMINATED WITH A BLOW-OFF HYDRANT.
- WATER MAIN FITTINGS TO BE USED WHEREVER JOINT DEFLECTION EXCEEDS MANUFACTURERS SPECIFICATIONS.
- CONTRACTOR SHALL USE MEGALUGS ON ALL MECHANICAL JOINT FITTINGS.
- CONTRACTOR SHALL BE ALLOWED TO USE MECHANICAL JOINT HYDRANT TEES WITH ROTATING GLANDS, AS EQUAL TO THE FIRE HYDRANT ASSEMBLY CONNECTIONS SHOWN IN THE CONSTRUCTION DETAILS.
- SAFETY PLATFORMS SHALL BE REQUIRED FOR ALL MANHOLES 16 FEET DEEP OR GREATER. ALL MANHOLES 16 FEET DEEP OR GREATER SHALL HAVE A 5'-0" INSIDE DIAMETER.
- INTERIOR GREASE TRAP SHALL BE PROVIDED FOR SCHOOL CAFETERIA IN ACCORDANCE WITH APPLICABLE CODES.
- ALL WATER AND FIRE SERVICE LINES MUST HAVE REDUCED PRESSURE BACKFLOW PREVENTERS INSTALLED.
- ALL WATER MAINS AND SERVICES MUST BE LOCATED A MINIMUM 5' BELOW THE GROUND SURFACE.
- ALL VERTICAL AND HORIZONTAL WATER FITTINGS MUST BE SECURELY RESTRAINED.
- DETECTION TAPE WITH ALUMINUM CORE SHALL BE INSTALLED ABOVE THE PROPOSED WATER AND SANITARY MAINS AND SERVICES.
- THE WATER METER MUST BE INSTALLED INSIDE THE BUILDING IN A LOCATION WHERE IT CAN BE EASILY ACCESSED FOR READING AND MAINTENANCE. THE CONTRACTOR MUST CONTACT THE AUTHORITY'S FIELD SUPERVISOR BEFORE THE PIPING IS INSTALLED TO VERIFY THAT THE LOCATION IS ACCEPTABLE.
- THE WATER METER MUST HAVE A REMOTE READOUT LOCATED IN AN AREA APPROVED BY THE AUTHORITY'S PERSONNEL SO THAT IT IS ACCESSIBLE FOR READING. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF THE WIRES FROM THE WATER METER TO THE REMOTE READOUT. THE COST OF THE WATER METER AND EQUIPMENT WILL BE AT THE RATE LISTED IN THE AUTHORITY'S RATE SCHEDULE IN EFFECT AT THE TIME OF PURCHASE.
- THE WATER METER AND REMOTE READOUT ARE TO BE CLEARLY IDENTIFIED (I.E. DOMESTIC USE, IRRIGATION, FOR WHICH UNIT, ETC) WITH BRASS TAGS.
- THE CONTRACTOR MUST NOTIFY THE AUTHORITY A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL EXPOSE PRIOR TO CONSTRUCTION AND VERIFY THE ELEVATION OF ANY FACILITY WHOSE DEPTH IS NOT KNOWN. (SEC 3.09.2 ADDENDUM B)



WATER SERVICE DETAIL
NTS



OWNERSHIP OF DOCUMENTS

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PROFESSIONAL DESIGN SERVICES, L.L.C. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PROFESSIONAL DESIGN SERVICES, L.L.C.

NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
10	08/08/2010	REVISED PER AMENDED SITE PLAN	KNL	13	03/24/2017	REVISED PER L.T.M.U.A.	SDC
9	04/28/2010	REVISED PER RESOLUTION COMPLIANCE	KNL	12	02/21/2017	REVISED SANITARY SEWER CONNECTION	SDC
8	04/08/2010	REVISED PER RESOLUTION COMPLIANCE & WATER SERVICE	KNL	11	06/22/2016	REVISED RIGHT SIDE DOORS PER ARCHITECT	KNL
7	02/10/2010	REVISED PER 2ND RESOLUTION COMPLIANCE	DS				
6	12/23/2015	REVISED PER RESOLUTION COMPLIANCE	KNL				
5	10/22/2015	REVISED PER LAKEWOOD TOWNSHIP MUNICIPAL UTILITIES AUTHORITY	KNL				
4	09/30/2015	REVISED PER LAKEWOOD PLANNING BOARD ENGINEER	KNL				
3	07/30/2015	REVISED PER LAKEWOOD PLANNING BOARD ENGINEER	KNL				
2	09/28/2015	ADDED SANITARY & WATER DESIGN	KNL				
1	06/11/2015	REVISED BUILDING FOOTPRINT	KNL				

PDS
PROFESSIONAL DESIGN SERVICES, L.L.C.
CONSULTING ENGINEERS, PLANNERS, ENVIRONMENTAL SCIENTISTS, CONSTRUCTION SERVICES
1245 AIRPORT ROAD, LAKEWOOD, NEW JERSEY 08701
PHONE 732 363 0692 FAX 732 363 0373
ENGINEERING PROFESSIONAL
NEW JERSEY STATE BOARD OF P.E. & L.S.
CERTIFICATE OF AUTHORIZATION NO. 2462/2125-00
GRAHAM J. MACFARLANE, P.E., P.P., C.M.E.
PROFESSIONAL ENGINEER, NEW JERSEY LIC #3710
PROFESSIONAL PLANNER, NEW JERSEY LIC #6104

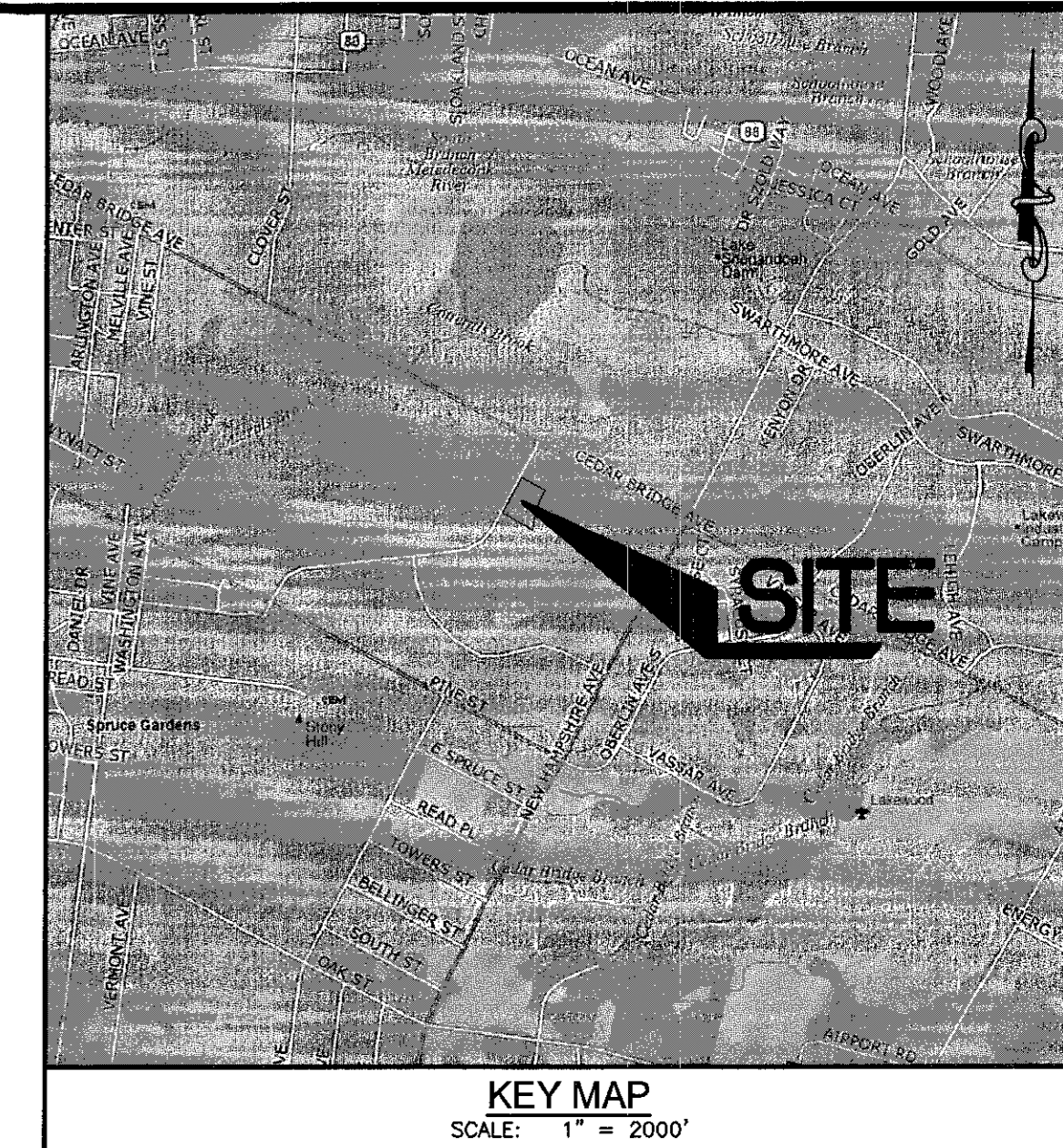
PRELIMINARY & FINAL MAJOR SITE PLANS
UTILITY PLAN
FOR
BLOCK 961
LOT 2.03
TAX MAP SHEET 120
TOWNSHIP OF LAKEWOOD
NEW JERSEY
OCEAN COUNTY

SCALE: 1" = 30' DATE: JUNE 4, 2015 JOB NUMBER: 15217 SHEET 4 OF 16
DRAWN BY: KNL DESIGNED BY: GJM CHECKED BY: GJM

PRELIMINARY AND FINAL - MAJOR SITE PLAN

FOR
BLOCK 961 - P/O LOT 2.01

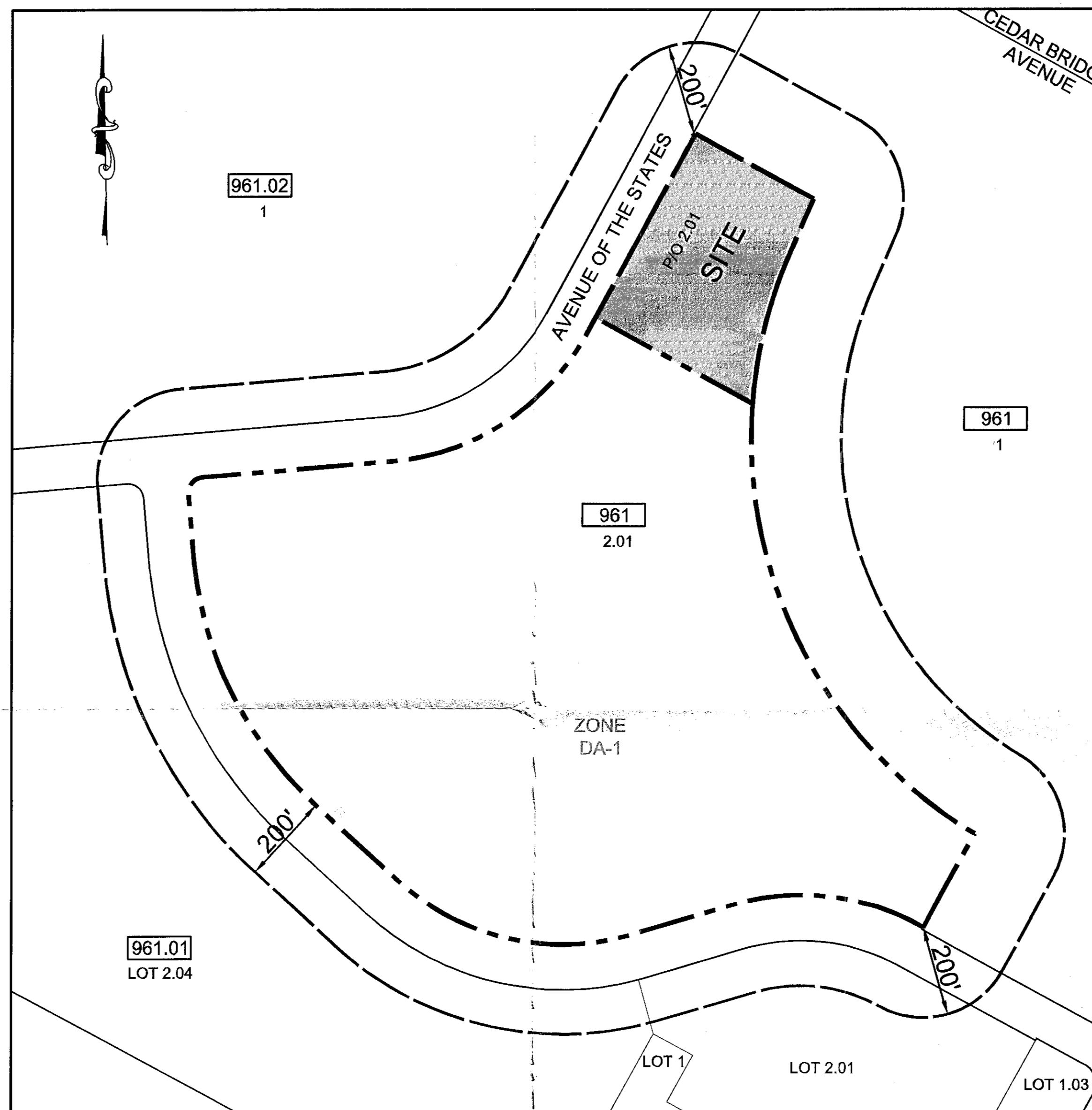
TOWNSHIP OF LAKEWOOD
OCEAN COUNTY NEW JERSEY



PROPERTY OWNERS LIST

SUPPLIED BY LAKEWOOD TOWNSHIP ON MAY 5, 2015

- BLOCK & LOT NAME ADDRESS CITY, STATE, ZIP**
- BLOCK 961, LOT 1
LAKEWOOD INDUSTRIAL COMMISSION
231 THIRD ST
LAKEWOOD NJ 08701
- BLOCK 961.01, LOT 1
NJ CONF ASSOC OF 7TH DAY ADVERTIST
2160 BRUNSWICK AVE
TRENTON, NJ 08648
- BLOCK 961.01, LOT 2.04
TOWNSHIP OF LAKEWOOD
231 3RD ST
LAKEWOOD, NJ 08701
- BLOCK 961.01, LOT 2.05
TOWNSHIP OF LKWD & CEDARBRIDGE DEVL
231 THIRD ST
LAKEWOOD NJ 08701
- BLOCK 961.01, LOT 2.06
TOWNSHIP OF LKWD & CEDARBRIDGE DEVL
231 THIRD ST
LAKEWOOD NJ 08701
- BLOCK 961.02, LOT 1
TOWNSHIP OF LAKEWOOD
231 3RD ST
LAKEWOOD NJ 08701
- JCP&L
331 NEWMAN SPRINGS ROAD SUITE 325 THIRD FLOOR
RED BANK, NJ 07701
- DONNA SHORT GIS SUPERVISOR NEW JERSEY - AMERICAN WATER COMPANY
1025 LAUREL OAK ROAD
VOORHEES, NJ 08043
- VERIZON NEW JERSEY INC
175 WEST MAIN STREET
FREEHOLD, NJ 07728-2525
- CABLEVISION OF MONMOUTH
40 PINE ST.
TINTON FALLS, NJ 07753
- LAKEWOOD MUNICIPAL UTILITY AUTHORITY
390 NEW HAMPSHIRE AVENUE
TRENTON, NJ 08625
- N.J. DEPT. OF TRANSPORTATION
1035 PARKWAY AVENUE
TRENTON, NJ 08625
- LAKEWOOD POLICE DEPARTMENT 911 OPERATOR
231 THIRD STREET
LAKEWOOD, NJ 08701
- N.J. NATURAL GAS CO.
P.O. BOX 1464
WALL, NJ 07719
- OCEAN COUNTY UTILITY
P.O. BOX P
BAYVILLE, NJ 08721
- CONRAIL
ROOM 470-1000 HOWARD BLVD MT.LAUREL CORPORATE PARK
MT. LAUREL, NJ 08054
- N.J. TURNPIKE AUTHORITY LEGAL DEPT.
P.O. BOX 5042 581 MAIN STREET
WOODBRIDGE, NJ 07095-5042
- OCEAN COUNTY PLANNING BOARD
129 HOOPER AVENUE
TOMS RIVER, NJ 08753
- ASBURY PARK PRESS
3601 HIGHWAY 66
NEPTUNE, NJ 07754



LOCATION MAP
SCALE: 1" = 200'

SHEET INDEX		SUPPLEMENTAL DRAWINGS	
No.	DESCRIPTION	No.	DESCRIPTION
1	COVER SHEET	1 OF 1	BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY
2	SITE PLAN		
3	GRADING & DRAINAGE PLAN		
4	UTILITY PLAN		
5	LANDSCAPE & TREE PROTECTION PLAN		
6	LIGHTING PLAN		
7	LANDSCAPE & LIGHTING DETAILS		
8	STORM SEWER & SANITARY PROFILES		
9	TRAFFIC CIRCULATION SIGNAGE & STRIPING PLAN		
10	BANKED PARKING OPTION IMPROVEMENTS PLAN		
11	CONSTRUCTION DETAILS		
12	CONSTRUCTION DETAILS		
13	CONSTRUCTION DETAILS		
14	COLLECTION SYSTEM DRAINAGE AREA MAP		
15	SOIL EROSION & SEDIMENT CONTROL PLAN		
16	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS		

OWNERSHIP OF DOCUMENTS

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PROFESSIONAL DESIGN SERVICES, L.L.C., AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PROFESSIONAL DESIGN SERVICES, L.L.C.

NO.	DATE	DESCRIPTION	BY
10	06/08/2016	REVISED PER AMENDED SITE PLAN	KNL
9	04/08/2016	REVISED PER RESOLUTION COMPLIANCE	KNL
8	04/08/2016	REVISED PER RESOLUTION COMPLIANCE & WATER SERVICE	KNL
7	02/10/2016	REVISED PER 2ND RESOLUTION COMPLIANCE	DS
6	12/23/2015	REVISED PER RESOLUTION COMPLIANCE	KNL
5	10/22/2015	REVISED PER LAKEWOOD TOWNSHIP MUNICIPAL UTILITIES AUTHORITY	KNL
4	08/30/2015	REVISED PER LAKEWOOD PLANNING BOARD ENGINEER	KNL
3	07/30/2015	REVISED PER LAKEWOOD PLANNING BOARD ENGINEER	KNL
2	06/26/2015	ADDED SANITARY & WATER DESIGN	KNL
1	06/11/2015	REVISED BUILDING FOOTPRINT	KNL

OWNER

LAKEWOOD TOWNSHIP
231 THIRD STREET
LAKEWOOD, NJ
08701

APPLICANT

AVENUE OF THE STATES, LLC
36 AIRPORT ROAD
LAKEWOOD, NJ
08701

GENERAL NOTES

- PROPERTY IS KNOWN AS TAX LOT 2.01 IN BLOCK 961 AS SHOWN ON THE LAKEWOOD TOWNSHIP TAX MAP SHEET 120.
- OUTBOUND & TOPOGRAPHIC INFORMATION TAKEN FROM A MAP ENTITLED "OUTBOUND & PARTIAL TOPOGRAPHIC SURVEY FOR TAX LOT 2.01 - TAX BLOCK 961 (REFERENCE TAX MAP SHEETS 120, 121, & 122) TOWNSHIP OF LAKEWOOD, OCEAN COUNTY, NEW JERSEY" AS PREPARED BY PROFESSIONAL DESIGN SURVEYING, L.L.C. DATED MAY 12, 2015.
- TOPOGRAPHY SHOWN HEREON IS IN GEODETIC DATUM (NAVD 1988), WHICH HAS BEEN DERIVED UTILIZING GPS OBSERVATIONS AND PROCESSED WITH OPUS OF THE NATION GEODETIC SURVEY.
- BENCHMARK IS EXISTING SANITARY MANHOLE #CP3, RIM ELEVATION = 54.63, LOCATED IN THE ROADWAY INTERSECTION OF AVENUE OF THE STATES WITH STADIUM WAY.
- WATER SERVICE WILL BE SUPPLIED BY LAKEWOOD TOWNSHIP MUNICIPAL UTILITIES AUTHORITY.
- SEWAGE DISPOSAL WILL BE SUPPLIED BY LAKEWOOD TOWNSHIP MUNICIPAL UTILITIES AUTHORITY.
- PROJECT SITE IS 3.53 ACRES.
- EXISTING CONDITIONS & DIMENSIONS TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION TO BE IN CONFORMANCE WITH APPLICABLE CODES AND/OR ORDINANCES.
- HANDICAP ACCESS TO BE PROVIDED FOR BUILDING ACCESS AS REQUIRED BY APPLICABLE CODES, SUBJECT TO REVIEW AND APPROVAL OF THE CONSTRUCTION CODE OFFICIAL OF LAKEWOOD TOWNSHIP.
- ALL PARKING STALLS TO BE 9' x 18'. HANDICAP PARKING STALLS ARE TO BE IN CONFORMANCE WITH THE NEW JERSEY BARRIER FREE SUBCODE (NJAC 5:23-7.1 TO 7.31). ACCESSIBLE CAR PARKING SPACES ARE TO BE A MINIMUM OF 8' x 18' WITH AN ADJACENT 5' WIDE ACCESS AISLE. AT LEAST ONE HANDICAP PARKING SPACE IN EACH PARKING LOT AND ONE HANDICAP PARKING SPACE FOR EVERY EIGHT HANDICAP PARKING SPACES IS TO BE VAN ACCESSIBLE. ACCESSIBLE VAN PARKING SPACES ARE TO BE A MINIMUM OF 8' x 18' WITH AN ADJACENT 8' WIDE ACCESS AISLE.
- ALL RUN-OFF FOR BUILDING ROOF SHALL BE DIRECTED INTO THE ROOF LEADER COLLECTION SYSTEM.
- ALL STRIPING & SIGNAGE TO BE M.U.T.C.D. AND N.J.D.O.T. COMPLIANT.
- ALL HVAC EQUIPMENT IS TO BE ROOF MOUNTED. PARAPET SHALL PROVIDE SCREENING.
- REFUSE COLLECTION TO BE PROVIDED BY PRIVATE SERVICE.

CAFRA PERMIT NOTE

- PURSUANT TO CAFRA PERMIT #1514-90-0023-11, DEVELOPMENT OF THE SITE WITH NOT MORE THAN 80% TOTAL IMPERVIOUS COVERAGE IS ALLOWED. PROJECT PROPOSES APPROXIMATELY 65% TOTAL IMPERVIOUS COVERAGE WITHOUT BANKED PARKING AND 76% TOTAL IMPERVIOUS COVERAGE WITH BANKED PARKING.

STORMWATER MANAGEMENT NOTE

- ON SITE STORMWATER MANAGEMENT IS NOT REQUIRED FOR THE PROJECT SINCE IT WAS INCLUDED IN THE CEDARBRIDGE CORPORATE CAMPUS OVERALL DEVELOPMENT. REFER TO THE STORMWATER MANAGEMENT REPORT BY PROFESSIONAL DESIGN SERVICES FOR ADDITIONAL INFORMATION.

APPROVED BY:

THE LAKEWOOD TOWNSHIP
PLANNING BOARD

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

PDS
PROFESSIONAL DESIGN SERVICES, L.L.C.
CONSULTING ENGINEERS, PLANNERS, ENVIRONMENTAL SCIENTISTS, CONSTRUCTION SERVICES
1245 AIRPORT ROAD, LAKEWOOD, NEW JERSEY 08701
PHONE: 732.363.0950 FAX: 732.363.0073
ENGINEERING@PDS-SI.COM
NEW JERSEY STATE BOARD OF P.E. & L.S.
CERTIFICATE OF AUTHORIZATION NO. 24642(2)25400
GRAHAM J. MACFARLANE, P.E., P.P., C.M.E.
PROFESSIONAL ENGINEER, NEW JERSEY LIC. #7110
PROFESSIONAL PLANNER, NEW JERSEY LIC. #1014

G. Macfarlane

PRELIMINARY & FINAL MAJOR SITE PLANS
COVER SHEET
FOR
BLOCK 961
P/O LOT 2.01
TAX MAP SHEET 120
OCEAN COUNTY TOWNSHIP OF LAKEWOOD NEW JERSEY
SCALE: AS SHOWN DATE: JUNE 4, 2015 JOB NUMBER: 15217 SHEET 1
DRAWN BY: KNL DESIGNED BY: GJM CHECKED BY: GJM 16

DRAFT

RESOLUTION

170601

Resolution of the Lakewood Industrial Commission authorizing a grant of utility easement and ownership across a portion of Block 961, Lot 1 (Lakewood Stadium / Stadium Way) to the Lakewood Township Municipal Utilities Authority.

WHEREAS, the Township of Lakewood conveyed the real property known as Lot 1 in Block 961 (Lakewood Stadium / Stadium Way) by Deed dated April 30, 2015 (supported by adoption of Ordinance authorizing same on March 26, 2015) to the Lakewood Industrial Commission; and

WHEREAS, the developer (AVENUE OF THE STATES, LLC) of adjacent lands thereto has submitted their utility plan to the Lakewood Planning Board for approvals to construct a new three story office building having a ground floor footprint of 51,983 square feet in size; and

WHEREAS, as part of the Plan, it is deemed that it would be prudent to plan to connect the required sanitary sewer lines to major lines existing in Stadium Way; and

WHEREAS, the Developer of the project has requested the granting of a dedicated utility easement wherein to install the sanitary sewer lateral lines required to service this new facility.

NOW THEREFORE, BE IT RESOLVED by the Lakewood Industrial Commission that it does hereby authorize its participating in an agreement to grant the requested 2,220 SF utility easement where it is planned that (1) the LTMUA (Lakewood Township Municipal Utilities Authority) shall own and maintain the sewer lateral from the main connection to and including San CO #9 and (2) where the property owner (Lakewood Township) shall own and maintain the sewer lateral from the building to SAN CO #9.

BE IT FURTHER RESOLVED that

1. Counsel to the Lakewood Industrial Commission be authorized to construct the appropriate agreement to include appropriate contractual language and terms to enable the intent of this action to succeed; and
2. Lakewood Industrial Commission Grant a Utility Easement to the Lakewood Township Municipal Utilities Authority and further, that the Lakewood Industrial Commission convey ownership of that dedicated "Property" to the Lakewood Township Municipal Utilities Authority for a nominal sum (\$1.00).
3. The purposes of the above mentioned contract does enhance and promote economic development in the Township and is within the statutory meaning of N.J.S.A.40:55B-1 et seq., and
4. The Township Department of Industrial Development Executive Director is authorized and directed to execute such documents as may be necessary to formalize

provisions of said contract on behalf of the Industrial Commission and for the benefit of the Township of Lakewood.

5. An authenticated copy of this Resolution, signed by the Chairman and Secretary be forwarded to the Mayor, Township Committee, the Township Manager and the Lakewood Township Municipal Utilities Authority for their information and records.

I hereby certify the above to be a true copy of a resolution duly adopted by the Industrial Commission of the Township of Lakewood, in the County of Ocean, and State of New Jersey at its meeting held on the 14th day of June, 2017.

GREGORY B. STAFFORD-SMITH, Secretary

or

Steven Reinman as Secretary-Designee in the absence of the
Secretary